

INSPECTION REPORT



For the Property at:

SAMPLE REPORT

Inspection Date: Tuesday, December 21, 2021

Prepared by: Travis Halldorson



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Excellence in home inspection.

SUMMARY

3458 Parkview Court, West Kelowna, BC December 21, 2021

Report No. 1014

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

WALLS \ Stucco

Condition: • Cracks & Damage

Stucco is damaged in various locations and should be repaired to prevent water infiltration.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration | Possible hidden damage

Location: Exterior Wall

Task: Repair/Seal all openings and cracks

Time: Upon possession

LANDSCAPING \ Lot grading

Condition: • [Improper slope or drainage](#)

The lot grade slopes towards the house, creating a potential for leakage below grade. Re-grading where needed is recommended to ensure that all water drains away from the homes' foundation at all times.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Throughout exterior

Task: Re-grade areas that slope toward house

Time: Upon possession

Structure

FOUNDATIONS \ General notes

Condition: • Settled

Evidence that the house has settled. Ask seller settlement history and if this is new or old. Ask seller if this issue has been investigated by professional to determine cause and request report. If cracks and settlement are new or no investigation has been conducted, have area further evaluated by engineer to determine cause and provide a recommendation. The slab sounds hollow in areas which indicates possible water undermining.

Implication(s): Chance of further structural movement

Location: Basement utility area

Task: Further evaluation / Request disclosure

Time: Before subject removal

Condition: • [Cracked horizontally](#)

Horizontal cracks larger than 1/8th of an inch found in foundation wall. These cracks should be sealed by professional. Further investigation by foundation specialist is recommended to assure future structural movement is not an issue.

Implication(s): Chance of structural movement

Location: Front basement

Task: Further evaluation

Time: Before subject removal

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Condition: • [Mechanical damage](#)

Concrete around water main has been damaged. This area has an active water leak and requires repair.

Implication(s): Chance of water entering building | Weakened structure | Chance of structural movement

Location: Basement Utility Room

Task: Repair & Further evaluation

Time: Before subject removal

Electrical

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

Condition: • None observed

Recommend installing CO detectors upon possession in appropriate areas. Periodic testing is suggested to ensure proper working order.

Implication(s): Health hazard

Location: Each floor level

Task: Provide

Time: Upon possession

Heating

GAS FURNACE \ Life expectancy

Condition: • Past life expectancy

Old furnace, have heating specialist estimate remaining life and replacement costs, anticipate replacement. 35 year-old furnace, typically these furnaces last 18 to 25 years. If furnace fails, there will be no heat. Potential health issue if furnace not serviced.

Implication(s): Equipment failure | No heat for building | Possible hazardous combustion products entering home

Location: Basement Furnace Room

Task: Further Evaluation

Time: Before subject removal

Plumbing

SUPPLY PLUMBING \ Water service pipe

Condition: • Leak

Slow water leak noted at main water shutoff valve.

Implication(s): Chance of water damage to structure, finishes and contents | Damage to equipment

Location: Basement Utility Room

Task: Review and repair by Plumber

Time: Before subject removal

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GARAGE \ Door between garage and living space

Condition: • [No self closer](#)

Garage doors should always have self closing hinges.

Implication(s): Hazardous combustion products entering home

Location: Garage

Task: Improve

Time: Upon possession or before parking vehicle inside.

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

Description

General:

- Roof photos



1. Roof photos

- Roofs can leak unpredictably. Inspector cannot and does not guarantee as to if the roof has leaked in the past, leaks now, or may leak in the future. Visual inspection is based on a limited visual review of the roofing material. All roofs should be kept clean and be inspected annually.

The home is considered to face: • South

Sloped roofing material: • [Asphalt shingles](#)

Sloped roof flashing material: • Metal

Approximate age: • Not Determined

Typical life expectancy: • 20-25 years

Roof Shape: • Gable

Limitations

General: • Have roof inspected after snow melts

Roof inspection limited/prevented by:

- Snow/ice/frost

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2. Snow/ice/frost

Inspection performed: • With binoculars • From roof edge

Recommendations

RECOMMENDATIONS \ General

1. Condition: • Have Roof Inspected

Roof was covered by snow during inspection. Ask seller details on approximate age of roof and its history. There was no evidence inside attic or house of any leak history.

Location: Roof

Task: Further evaluation / Request disclosure

Time: After snow fall

2. Condition: • There are heat wires installed to possibly help prevent Ice damming in gutters. Ask seller history and purpose for heat wires and there effectiveness. Gutters were filled with ice during inspection.

Implication(s): Ice damming can create water ingress that may damage contents, materials and structure.

Location: Roof

Task: Request disclosure

Time: Before subject removal

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3. Heat wires and leaf guards

3. Condition: • Gutter guards are installed on gutters. These help keep debris from getting into gutters. An annual cleaning and gutter check is still advised.

Implication(s): Water leaks may damage contents, materials and structure and create mold.

Location: Roof

Task: Service

Time: Regular annual maintenance & ongoing

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4. Gutter guards

SLOPED ROOFING \ Asphalt shingles

4. Condition: • [Damage](#)

Small damaged corner observed. Inspect roof for other similar damaged areas when roof is clear from snow.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Roof

Task: Further evaluation

Time: After snow melt



5. Damage

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SLOPED ROOF FLASHINGS \ Pipe/stack flashings

5. Condition: • [Damage](#)

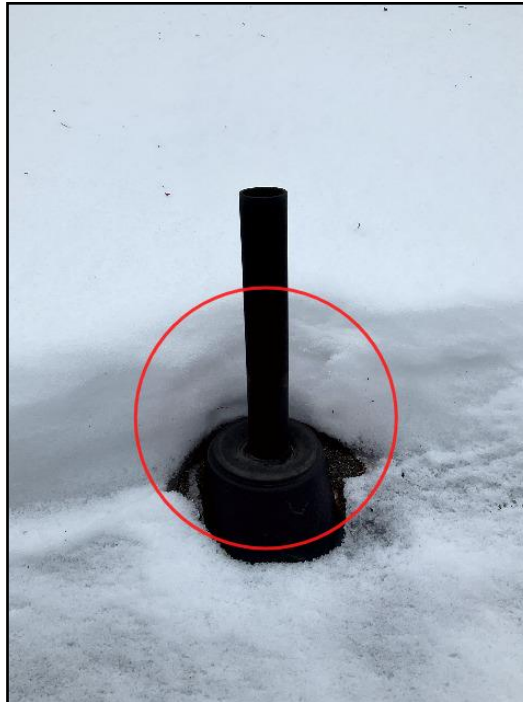
Neoprene flashing has collapsed possibly allowing for water ingress.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Exterior roof

Task: Replace

Time: Before next winter season



6. Collapsed boot

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Description

General:

- House angles



7. Front



8. Right



9. Rear



10. Left

Gutter & downspout material: • [Aluminum](#)

Gutter & downspout type: • [Eave mounted](#)

Gutter & downspout discharge: • [Above grade](#)

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Downspout discharge: • [Above grade](#)

Lot slope: • [Towards building](#)

Soffit (underside of eaves) and fascia (front edge of eaves): • [Metal](#)

Wall surfaces and trim: • [Stucco](#) • [Fiber cement](#)

Retaining wall: • [Masonry](#)

Driveway: • Interlocking brick

Walkway: • Interlocking brick

Garage: • Attached

Garage vehicle door operator (opener): • Present

Limitations

Inspection limited/prevented by: • Snow / ice / frost

Exterior inspected from: • Ground level

Not included as part of a building inspection: • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Screens, shutters, awnings, and similar seasonal accessories • Fences and boundary walls • Geological and soil conditions • Outbuildings other than garages and carports • Erosion control, earth stabilization measures

Recommendations

RECOMMENDATIONS \ General

6. Condition: • Hot tub is too close to house.

Implication(s): Water leaks may damage contents, materials and structure and create mold.

Location: Rear Exterior

Task: Move hot tub at least 6 feet away from house

Time: Upon possession

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11. *Too close to siding*

ROOF DRAINAGE \ Gutters

7. **Condition:** • [Loose or damaged](#)

Gutter down spout not attached to house.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Right Side Exterior

Task: Repair

Time: Upon possession

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12. Loose gutters down spout

ROOF DRAINAGE \ Downspouts

8. Condition: • Should discharge 6 feet from building

Make sure all downspouts discharge water 6 feet away from building and lot grade slopes away from house.

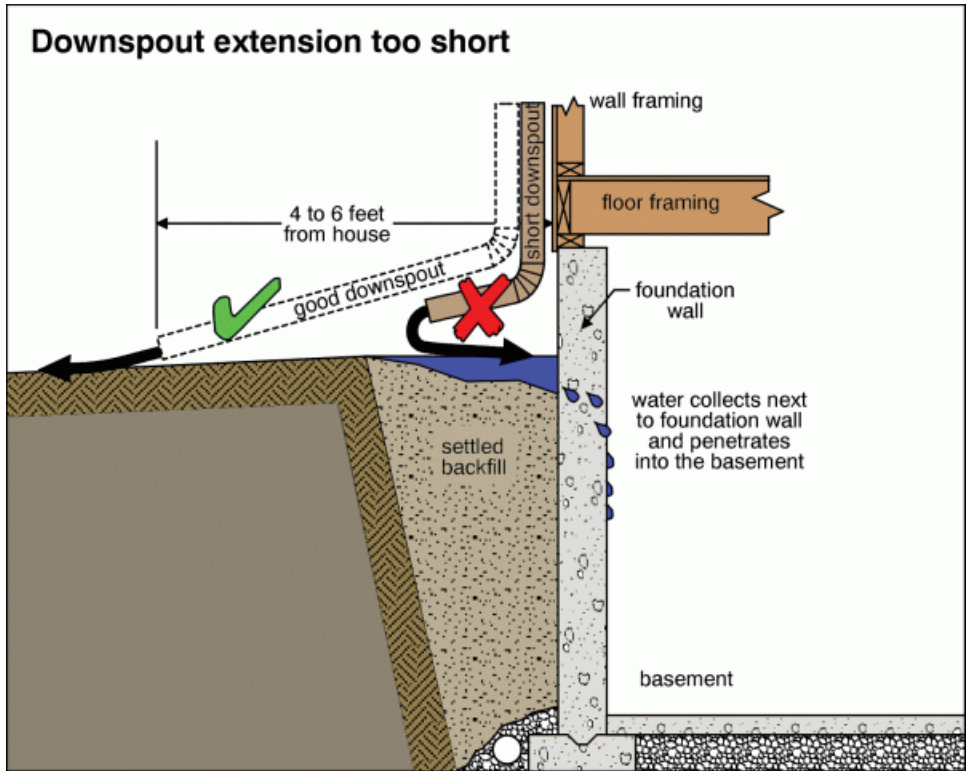
Implication(s): Chance of water damage to structure, finishes and contents | Water can undermine the foundation causing settlement

Location: Throughout

Task: Recommend installation of extension to ensure proper drainage away from foundation

Time: Upon possession

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13. Should discharge 6 feet from building



14. Maintain 6 feet from building

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15. Should discharge 6 feet from building



16. Maintain 6 feet from building

WALLS \ Soffits (underside of eaves) and fascia (front edge of eaves)

9. Condition: • [Damage](#)

Fascia has unsealed nail penetrations from Christmas light anchors.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Left Side Exterior

Task: Seal holes - Repair or replace fascia

Time: Prior to next winter season



17. Damage

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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WALLS \ Stucco

10. Condition: • Cracks & Damage

Stucco is damaged in various locations and should be repaired to prevent water infiltration.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration | Possible hidden damage

Location: Exterior Wall

Task: Repair/Seal all openings and cracks

Time: Upon possession



18. Cracked



19. Cracked

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20. Cracked



21. Mechanical damage

11. Condition: • Too close to grade

Stucco siding on left side has planters that are built against siding in some areas.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration | Potential hidden damage

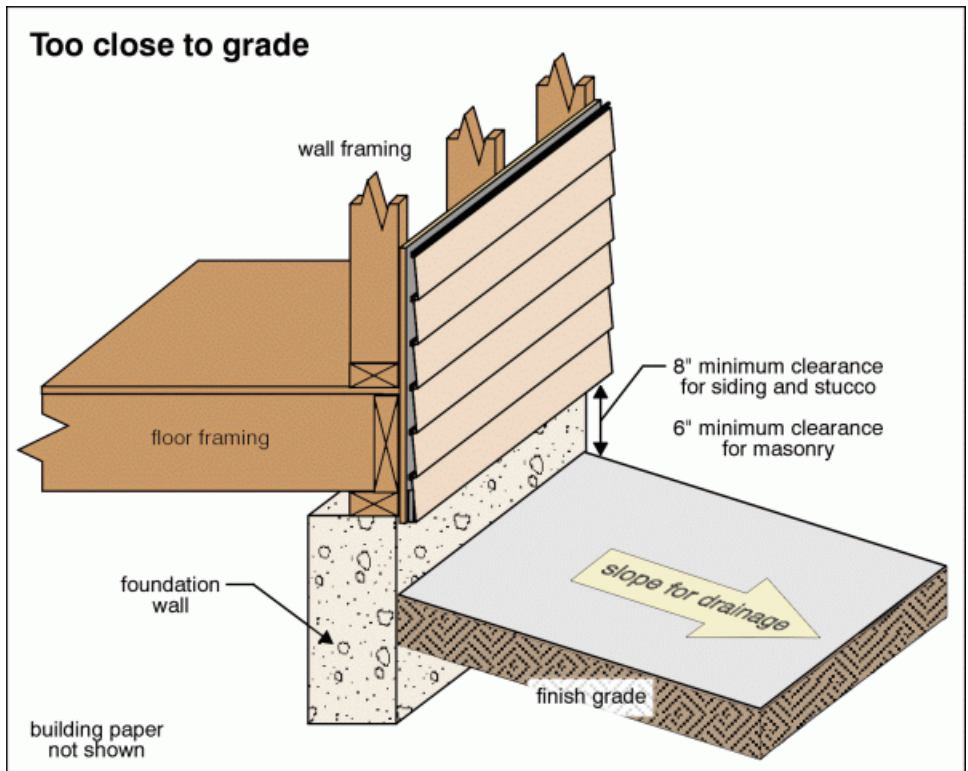
Location: Left Side Exterior Wall

Task: Have planters removed or dug down to below stucco siding

Time: Upon possession

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22. Too close to grade



23. Too close to grade

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24. Too close to grade

12. Condition: • Stucco Maintenance

Stucco wall cladding requires annual review and maintenance. All door/window/trim junctions should be kept sealed and inspected to prevent water ingress behind the Stucco wall. Should you see any damage or cracks larger than 1/16", recommend sealing/repairing these to prevent water ingress.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Throughout Exterior Wall

Task: Monitor and Maintain

Time: Regular maintenance & ongoing

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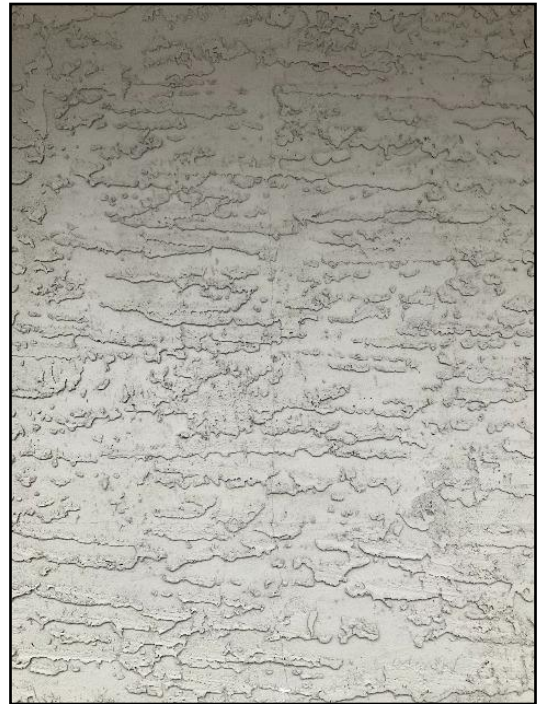
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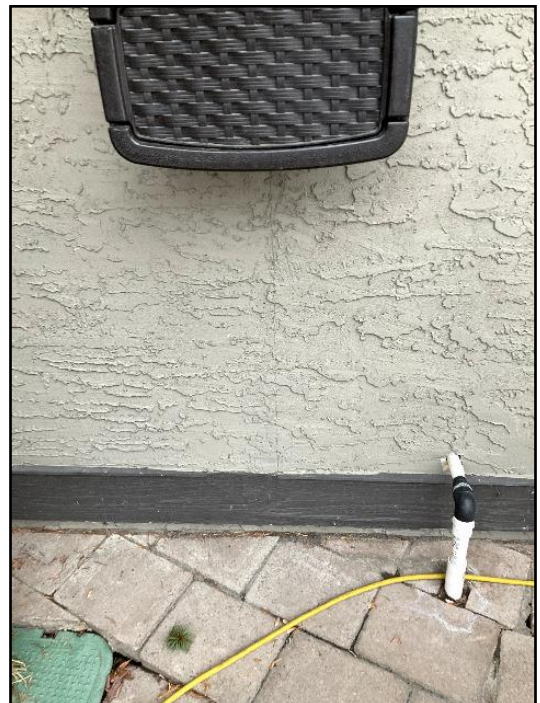
25. Cracked



26. Cracked



27. Cracked



28. Cracked

WALLS \ Vent (fan, clothes dryer, etc.)

13. Condition: • Cover damaged

Dryer vent and basement bathroom exhaust vent are damaged and need repair.

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Implication(s): Increased operating costs | Vermin entry

Location: Rear exterior

Task: Repair

Time: Upon possession



29. Cover damaged



30. Cover damaged

14. Condition: • Abandoned

Old vent pipes uncovered need to be sealed.

Implication(s): Heat / AC loss | Vermin entry

Location: Rear

Task: Seal and cover openings

Time: Upon possession

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31. *Abandoned vents*

WINDOWS \ General notes

15. Condition: • Paint and Caulking - deteriorated / missing

Garage windows need to be sealed around perimeter.

Implication(s): Increased heating and cooling costs | Reduced comfort

Location: Left Side Exterior

Task: Improve

Time: Prior to next winter season

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32. Caulking required



33. Caulking required

EXTERIOR GLASS/WINDOWS \ Exterior trim

16. Condition: • [Paint or stain needed](#)

OSB trim boards require paint to prevent swelling.

Implication(s): Chance of water damage to structure, finishes and contents | Material deterioration

Location: Left & Right Side Exterior Wall

Task: Protect

Time: Upon possession

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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34. MePaint or stain needed mechanical damage



35. Paint or stain needed

DOORS \ General notes

17. Condition: • No deadbolt lock

The garage door does not have a deadbolt lock installed.

Implication(s): Security issue

Location: Garage

Task: Provide and install

Time: Discretionary

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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36. No deadbolt lock

LANDSCAPING \ General notes

18. Condition: • [Trees or shrubs too close to building](#)

Recommend keeping vegetation and dirt/mulch away from wall cladding.

Implication(s): Chance of water damage to structure, finishes and contents | Chance of pests entering building | Material deterioration

Location: Right exterior wall

Task: Remove vegetation

Time: Upon possession

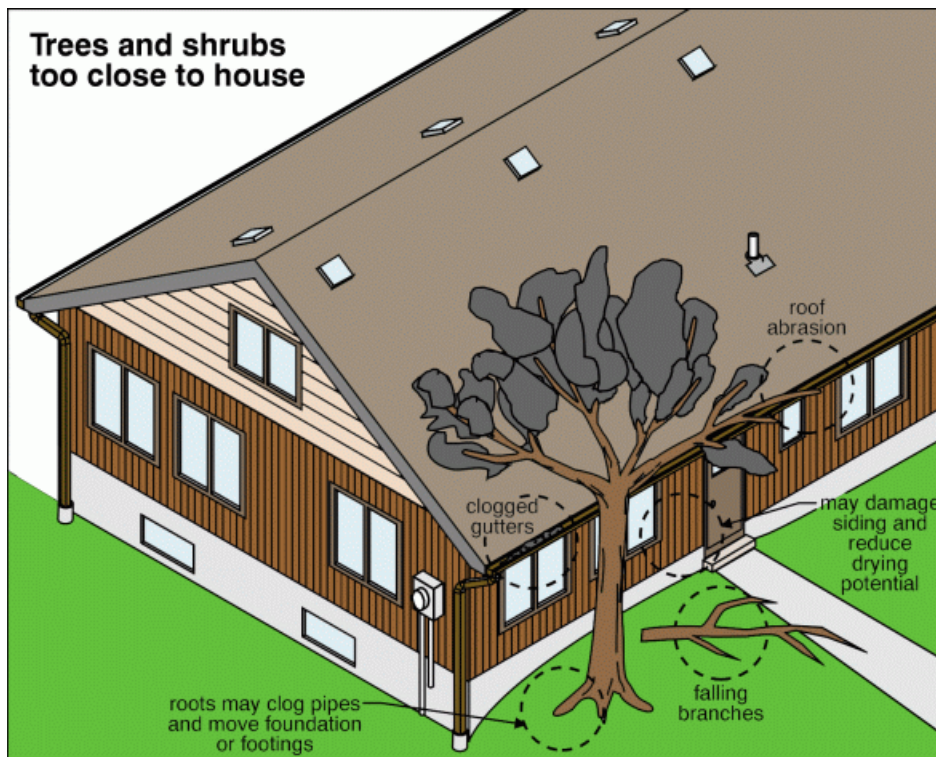
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37. Trees or shrubs too close to building

LANDSCAPING \ Lot grading

19. Condition: • [Improper slope or drainage](#)

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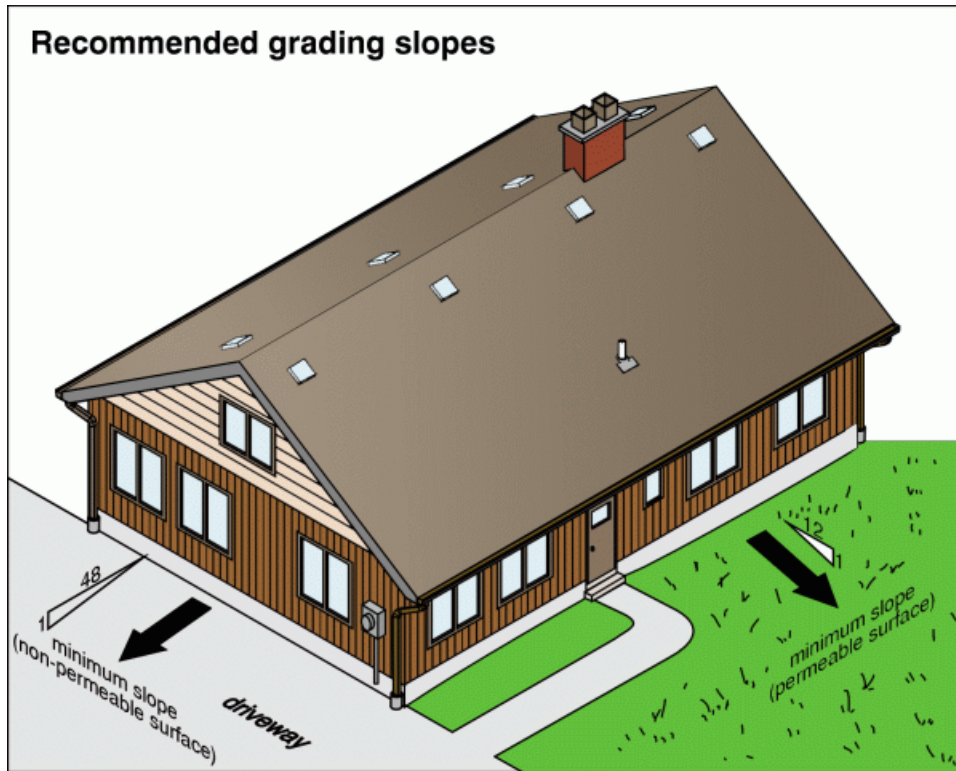
The lot grade slopes towards the house, creating a potential for leakage below grade. Re-grading where needed is recommended to ensure that all water drains away from the homes' foundation at all times.

Implication(s): Chance of water damage to structure, finishes and contents

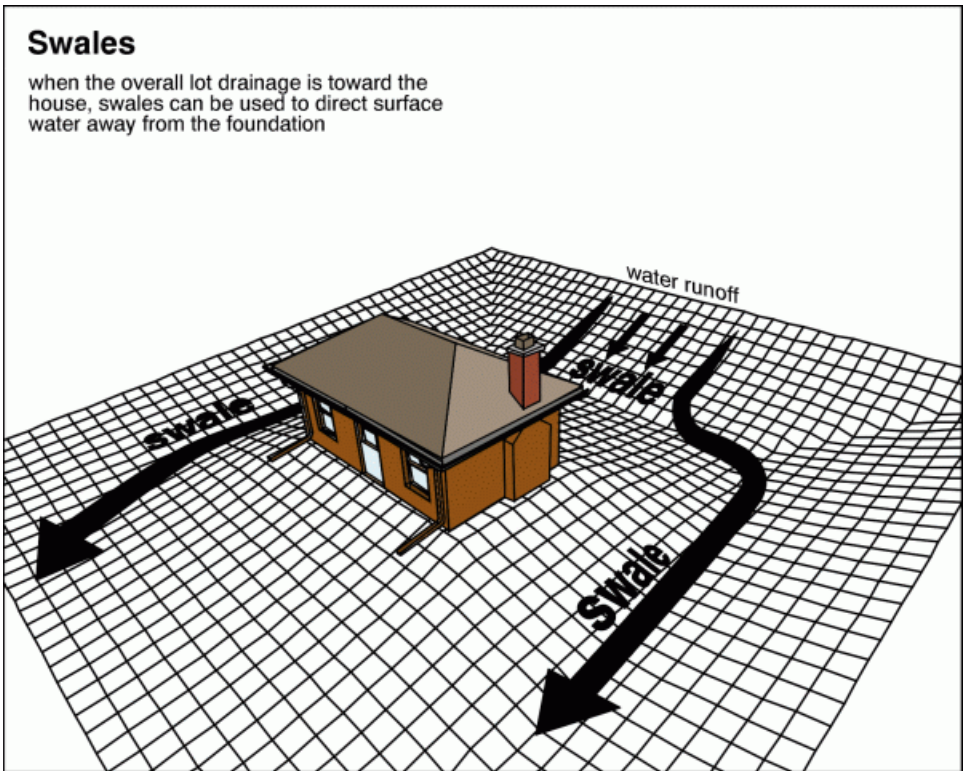
Location: Throughout exterior

Task: Re-grade areas that slope toward house

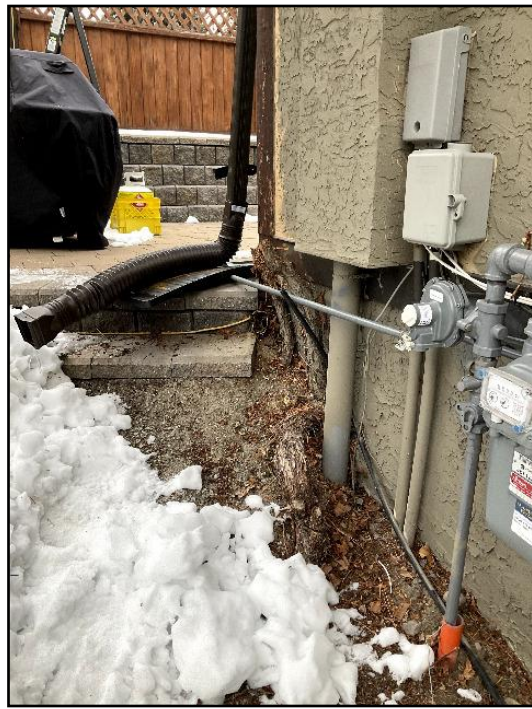
Time: Upon possession



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38. Improper slope or drainage



39. Improper slope or drainage

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40. Improper slope or drainage



41. Improper slope or drainage



42. Improper slope or drainage

LANDSCAPING \ Walkway

20. Condition: • Uneven (trip hazard)

Access to right side of house is unfinished and has trip hazards.

Implication(s): Physical injury

Location: Right side walkway

Task: Finish / Repair

Time: Upon possession

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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43. Uneven (trip hazard)

IRRIGATION/SPRINKLER SYSTEM \ Observations

21. Condition: • Poor service location for irrigation system. They are both situated near foundation wall at a low spots and if a leak were to ever occur a water could find its way into the home.

Implication(s): Water leaks may damage contents, materials and structure and create mould.

Location: Front Rear

Task: Water leak alarm is suggested to prevent serious water damage

Time: Upon possession

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44. Irrigation



45. Irrigation

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Description

Configuration: • [Basement](#)

Foundation material: • [Poured concrete](#)

Floor construction: • [Joists](#)

Exterior wall construction: • Not visible

Roof and ceiling framing: • [Trusses](#)

Limitations

Inspection limited/prevented by: • New finishes/paint

Attic/roof space: • Inspected from access hatch

Not included as part of a building inspection: • Visible mold evaluation is not included in the building inspection report • An opinion about the adequacy of structural components • Attic load bearing components concealed by insulation cannot be traversed

Recommendations

FOUNDATIONS \ General notes

22. Condition: • Settled

Evidence that the house has settled. Ask seller settlement history and if this is new or old. Ask seller if this issue has been investigated by professional to determine cause and request report. If cracks and settlement are new or no investigation has been conducted, have area further evaluated by engineer to determine cause and provide a recommendation. The slab sounds hollow in areas which indicates possible water undermining.

Implication(s): Chance of further structural movement

Location: Basement utility area

Task: Further evaluation / Request disclosure

Time: Before subject removal

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46. Settled



47. Settled



48. Settled



49. Doors altered

23. Condition: • [Cracked horizontally](#)

Horizontal cracks larger than 1/8th of an inch found in foundation wall. These cracks should be sealed by professional. Further investigation by foundation specialist is recommended to assure future structural movement is not an issue.

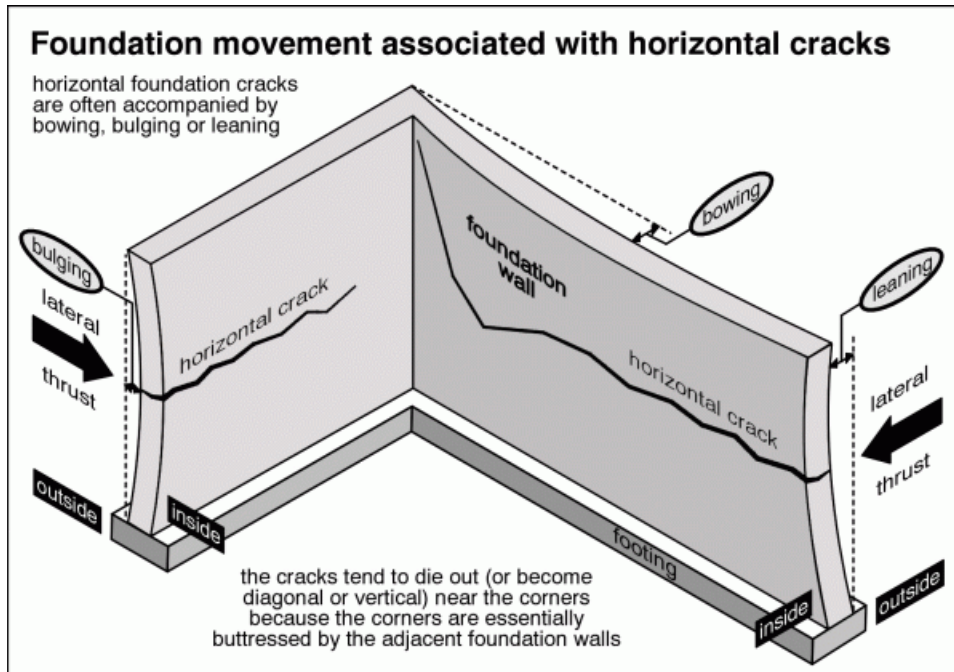
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Implication(s): Chance of structural movement

Location: Front basement

Task: Further evaluation

Time: Before subject removal



50. Cracked horizontally



51. Cracked horizontally

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52. Cracked horizontally

24. Condition: • [Mechanical damage](#)

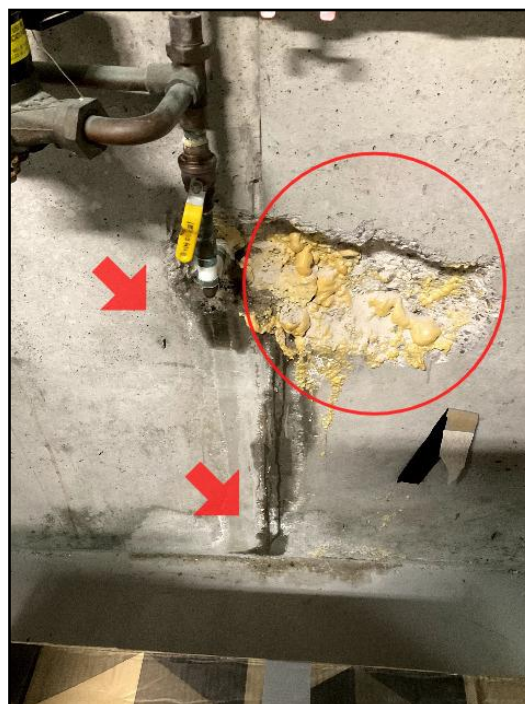
Concrete around water main has been damaged. This area has an active water leak and requires repair.

Implication(s): Chance of water entering building | Weakened structure | Chance of structural movement

Location: Basement Utility Room

Task: Repair & Further evaluation

Time: Before subject removal



53. Mechanical damage

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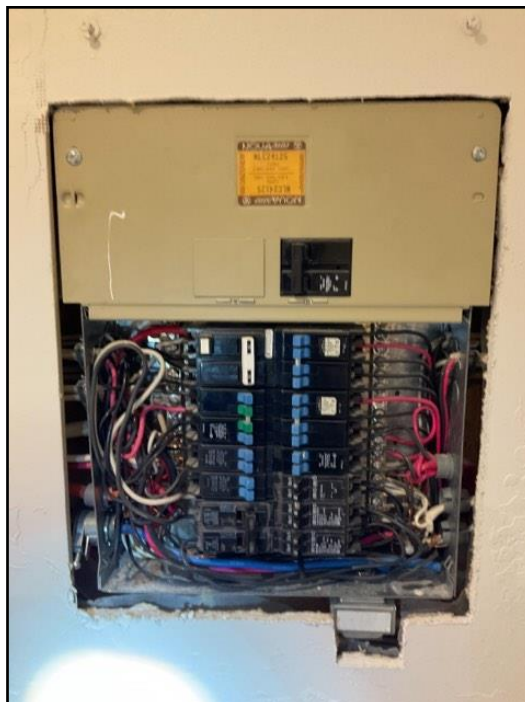
General:

- Electrical Meter



54. *Electrical Meter*

- Electric Panel



55. *Electric Panel*

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Service entrance cable and location: • [Underground - cable material not visible](#)

Service size: • [100 Amps \(240 Volts\)](#)

Main disconnect/service box type and location: • [Breakers - basement](#)

System grounding material and type:

• [Copper - water pipe](#)



56. Copper - water pipe

Distribution panel type and location: • [Breakers - basement](#)

Auxiliary panel (subpanel) type and location: • None

Distribution wire (conductor) material and type: • [Copper - non-metallic sheathed](#)

Type and number of outlets (receptacles): • [Grounded - typical](#)

Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI): • [GFCI - bathroom and exterior](#)

Smoke alarms (detectors): • [Present](#)

Carbon monoxide (CO) alarms (detectors): • None noted

Recommendations

SERVICE DROP AND SERVICE ENTRANCE \ Service size

25. Condition: • Marginal service size

The electrical service and panel box installed have reached the maximum capacity. There is no room for future electrical additions (ie: electric car). Budget for service upgrade & panel replacement.

Implication(s): Interruption of electrical service

Location: Basement

Task: Recommend further evaluation by a professional electrician to provide quote for service and panel upgrade.

Time: Discretionary upon possession

DISTRIBUTION SYSTEM \ Wiring (wires) - installation

26. Condition: • [Extension cord used as permanent wiring](#)

Extension cords should not be used for permanent wiring.

Implication(s): Electric shock | Fire hazard

Location: Basement gas heater

Task: Review and repair by Electrician

Time: Upon possession



57. Permanent wiring used as extension cord

DISTRIBUTION SYSTEM \ Outdoor wiring (wires)

27. Condition: • Exposed Wires

Exposed electrical wiring observed.

Implication(s): Mechanical damage | Electric shock | Fire hazard

Location: Exterior

Task: Have repaired by electrician

Time: Upon possession



58. Exposed Wires

DISTRIBUTION SYSTEM \ Outlets (receptacles)

28. Condition: • GFCI Recommended

It is recommended that outlets near all sinks or water sources be GFCI protected.

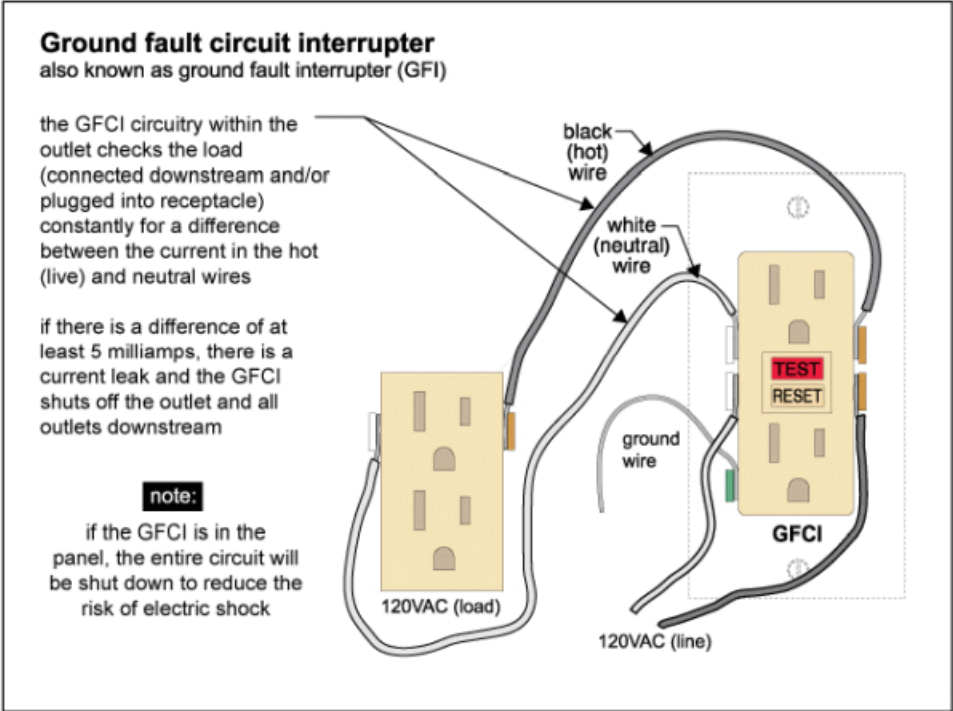
Implication(s): Electric shock

Location: Laundry Area

Task: Install GFCI's

Time: Upon possession

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPENDIX								



59. GFCI Recommended

DISTRIBUTION SYSTEM \ Switches

29. **Condition:** • Location poor (too close to water source)
Light switch, exposed wires and junction box below sink are too close to water source at laundry sink.

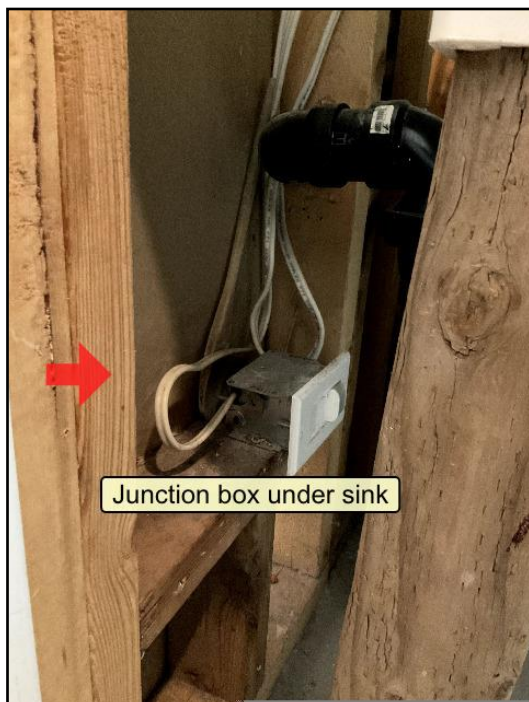
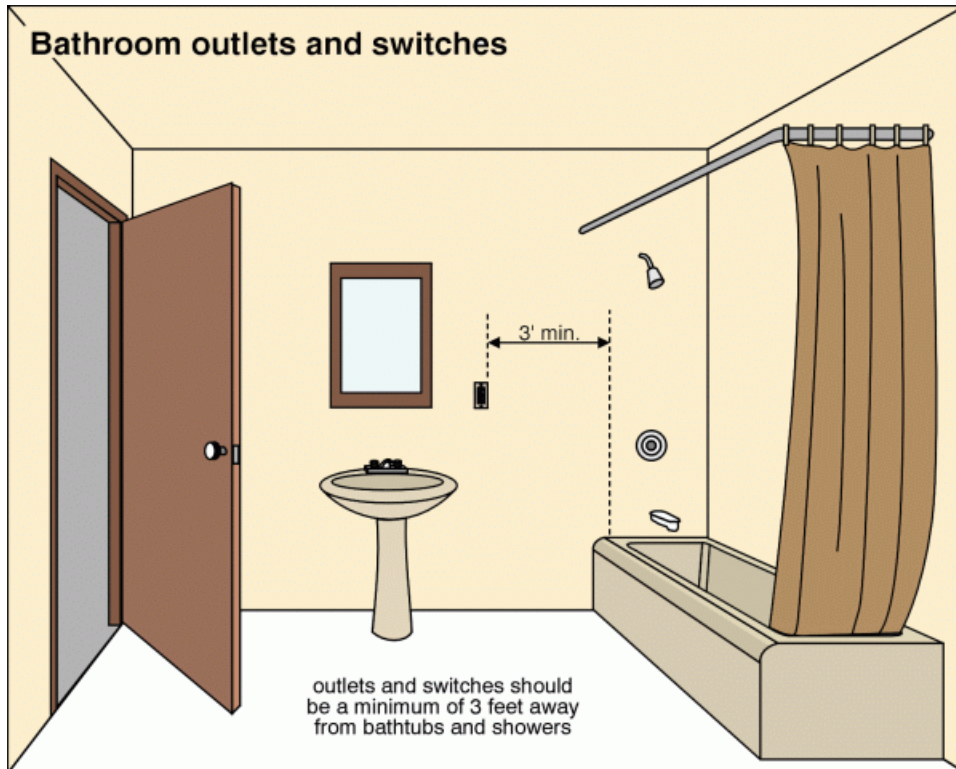
SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Implication(s): Electric shock

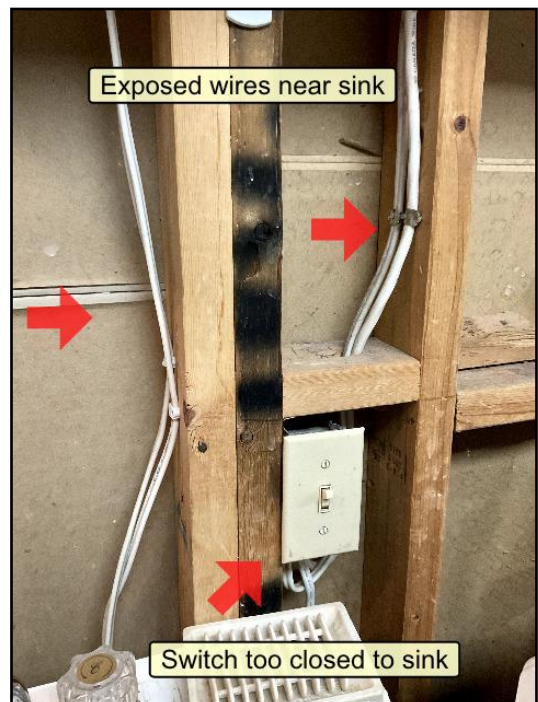
Location: Basement

Task: Have reviewed and repaired by electrician

Time: Upon possession



60. Location poor (too close to water source)



61. Location poor (too close to water source)

DISTRIBUTION SYSTEM \ Lights

30. Condition: • [Loose](#)

Implication(s): Electric shock | Fire hazard

Location: Rear Exterior Wall

Task: Repair

Time: Upon possession



62. *Loose*

31. Condition: • [Loose](#)

Implication(s): Electric shock | Fire hazard

Location: Basement

Task: Repair

Time: Upon possession



63. Loose

DISTRIBUTION SYSTEM \ Carbon monoxide (CO) alarms (detectors)

32. Condition: • None observed

Recommend installing CO detectors upon possession in appropriate areas. Periodic testing is suggested to ensure proper working order.

Implication(s): Health hazard

Location: Each floor level

Task: Provide

Time: Upon possession

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Description

General:

- Furnace



64. Furnace

- Fireplace



65. Gas fireplace

HEATING

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SUMMARY

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- Furnace shutoff switch

Heating system type: • [Furnace](#)

Fuel/energy source: • [Gas](#) • [Electricity](#)

Approximate capacity: • [80,000 BTU/hr](#)

Efficiency: • [Conventional](#)

Exhaust venting method: • [Natural draft](#)

Combustion air source: • Outside

Approximate age: • [35 years](#)

Typical life expectancy: • Furnace (conventional or mid-efficiency) 18 to 25 years

Main fuel shut off at: • Meter

Auxiliary heat:

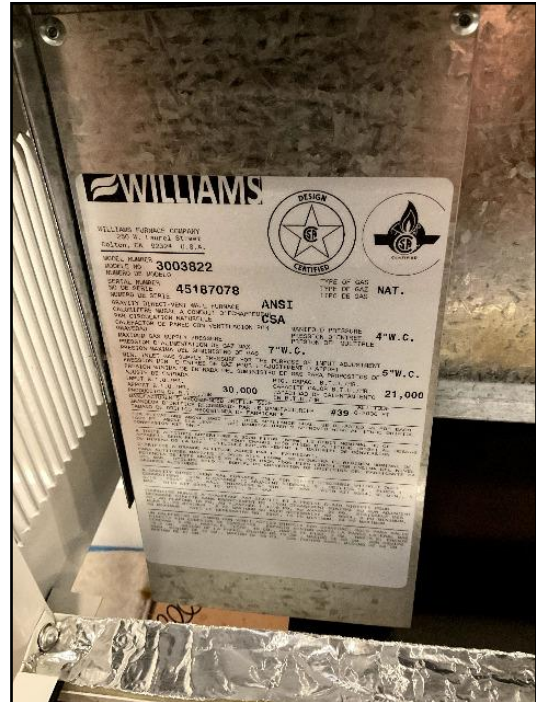
- [Gas fireplace](#)

- Gas space heater

Basement living room.



66. Gas space heater



67. Gas space heater

- [Electric heater](#)

basement bathroom

HEATING

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPENDIX								



68. Electric heater

- Radiant floor heating (electric)
Upstairs bathroom



69. Radiant floor heating (electric)



70. Radiant floor heating (electric)

HEATING

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Fireplace/stove: • [Gas fireplace](#)

Chimney/vent: • [Metal](#)

Chimney liner: • [Metal](#)

Mechanical ventilation system for building: • Kitchen exhaust fan • Bathroom exhaust fan

Location of the thermostat for the heating system: • Hallway

Limitations

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Recommendations

GAS FURNACE \ Life expectancy

33. Condition: • Past life expectancy

Old furnace, have heating specialist estimate remaining life and replacement costs, anticipate replacement. 35 year-old furnace, typically these furnaces last 18 to 25 years. If furnace fails, there will be no heat. Potential health issue if furnace not serviced.

Implication(s): Equipment failure | No heat for building | Possible hazardous combustion products entering home

Location: Basement Furnace Room

Task: Further Evaluation

Time: Before subject removal



71. Furnace past life expectancy

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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FIREPLACE \ Gas fireplace or gas logs

34. Condition: • Gas Service

Ask seller for service records of gas fireplace. If none available, recommend gas fireplace be serviced.

Implication(s): Health and safety precaution

Location: Living room

Task: Have serviced by professional

Time: Prior to use and as regular maintenance



72. Gas Service

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPENDIX								

Description

General:

- Air Conditioner



73. Air Conditioner



74. Air Conditioner

Air conditioning type: • [Air cooled](#) • Electric

Compressor approximate age: • 1 year

Typical life expectancy: • 12 to 15 years

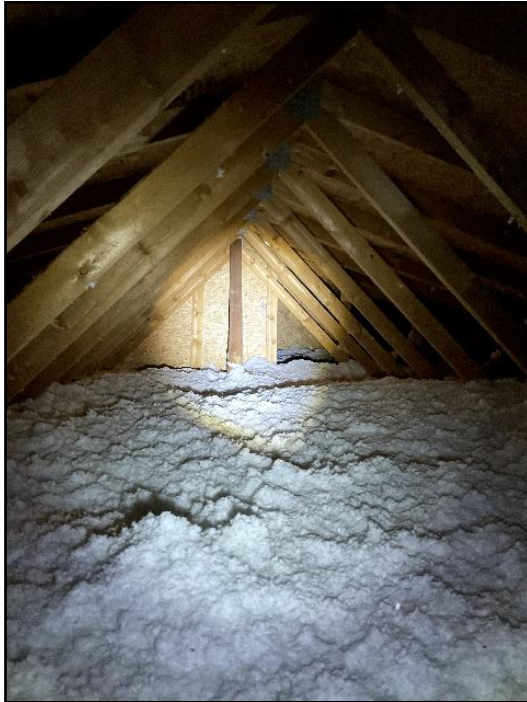
Limitations

Inspection limited/prevented by: • Cooling systems are not operated when the outdoor temperature is below 15°C • Could not test and operate AC unit due to cold weather. It is a mechanical risk to turn compressor on when temperature is below 15 °C.

Description

General:

- General view of attic



75. General view of attic



76. General view of attic

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • 10 inches

Attic/roof air/vapor barrier: • [Plastic](#)

Attic/roof ventilation: • [Roof and soffit vents](#)

Wall insulation amount/value: • Not determined

Foundation wall insulation material: • Not determined

Mechanical ventilation system for building: • Kitchen exhaust fan • Bathroom exhaust fan

Limitations

Inspection limited/prevented by lack of access to: • Roof space

Attic inspection performed: • From access hatch

Roof space inspection performed: • From access hatch

Roof ventilation system performance: • Not evaluated

Air/vapor barrier system: • Continuity not verified

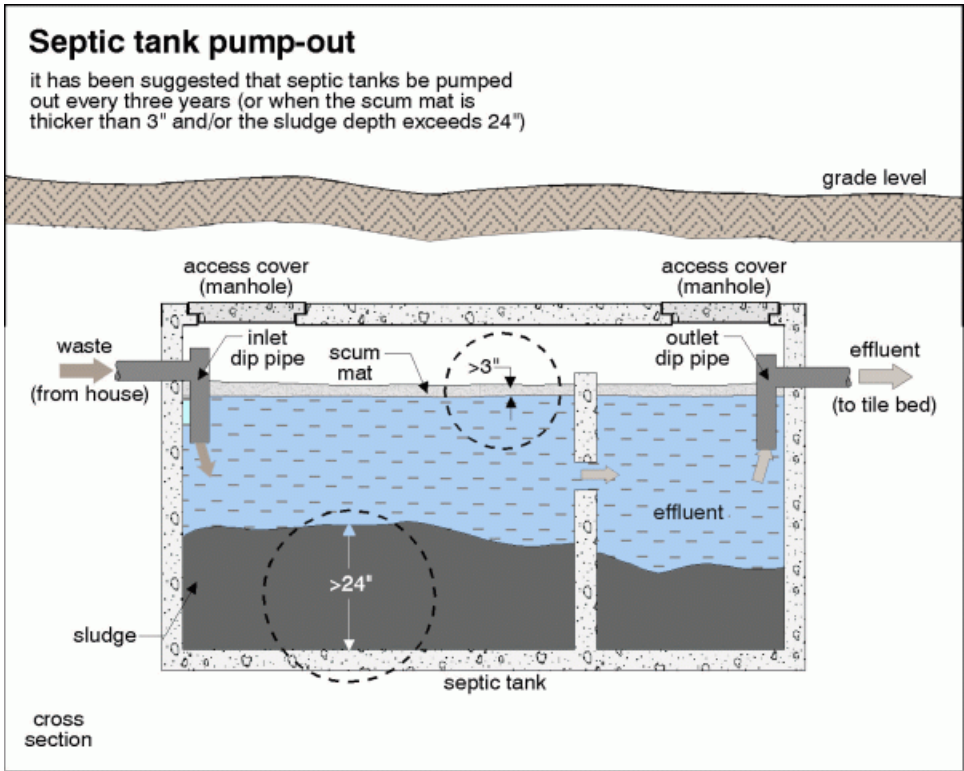
Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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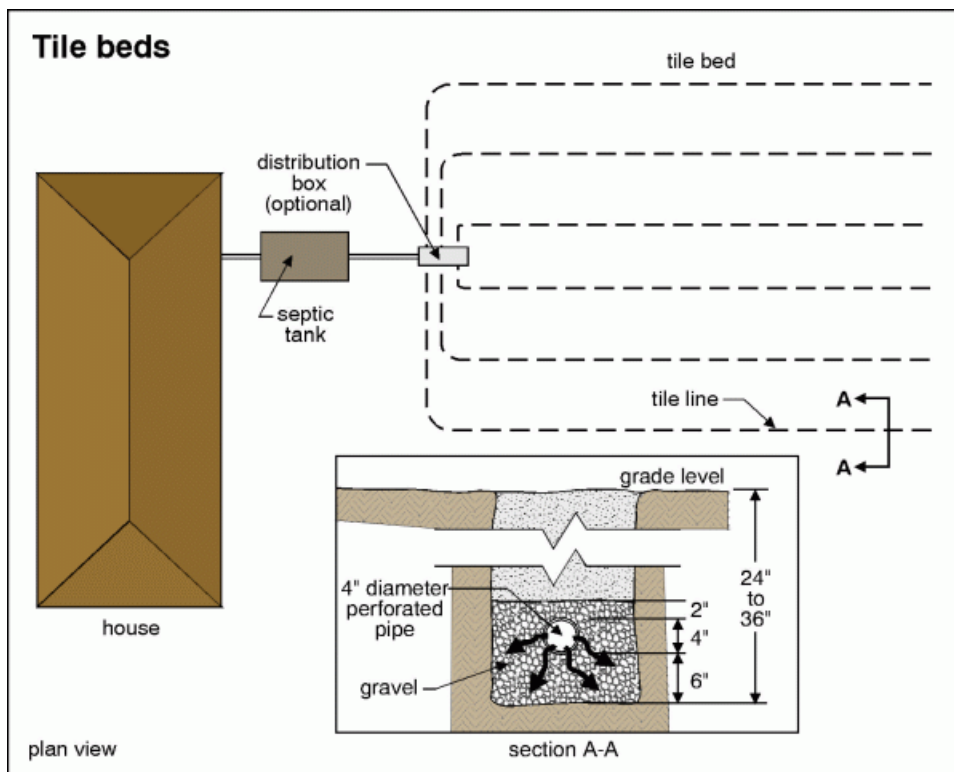
Description

General:

- Ask the seller for the location of the lid so you know where to direct the service man. Ask the seller when it was last pumped. Over pumping the system is not good for it and therefore, the system should only be pumped if it has not been done so recently.



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- Hot Water Tank



77. Hot Water Tank

- Gas Meter

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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78. Gas Meter

- Main Water Shut Off



79. Main Water Shut Off

Water supply source (based on observed evidence): • Public

PLUMBING

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Service piping into building: • Copper

Supply piping in building: • [Copper](#) • PEX (cross-linked Polyethylene)

Main water shut off valve at the: • Basement

Water flow and pressure: • [Functional](#)

Water heater type: • [Conventional](#)

Water heater fuel/energy source: • [Gas](#)

Water heater manufacturer: • Rheem

Water heater tank capacity: • [40 gallons](#)

Water heater approximate age: • 3 years

Water heater typical life expectancy: • 8 to 12 years

Waste and vent piping in building: • [Plastic](#)

Floor drain location: • None found

Gas meter location: • Exterior right side

Main gas shut off valve location: • Gas meter

Limitations

Fixtures not tested/not in service: • Hot tub • Outdoor faucet (hose bibs/bibbs) shut off for winter

Items excluded from a building inspection: • Water quality • Septic system • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains • Landscape irrigation system

Recommendations

OPTIONAL \ Plumbing

35. Condition: • Upgrade Washer Hookup
Rubber supply lines have a history of leaking.

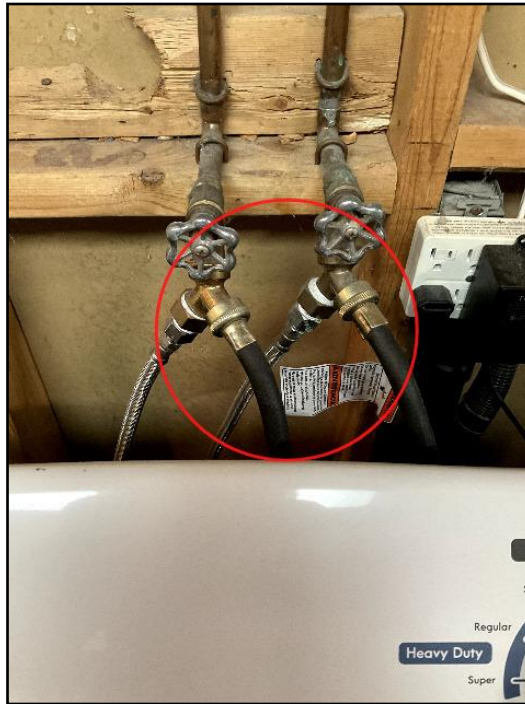
Implication(s): Water leaks damage structures and materials

Location: Laundry Area

Task: Replace with steel braided hoses

Time: Discretionary - Monitor

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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80. Upgrade Washer Hookup

SUPPLY PLUMBING \ Water service pipe

36. Condition: • Leak

Slow water leak noted at main water shutoff valve.

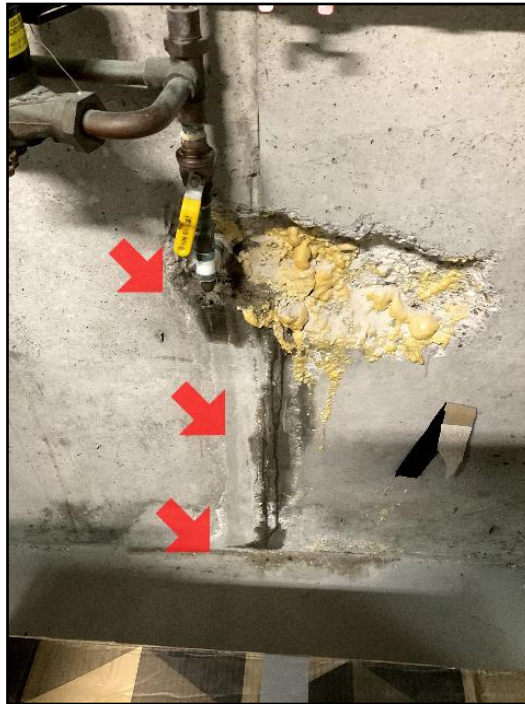
Implication(s): Chance of water damage to structure, finishes and contents | Damage to equipment

Location: Basement Utility Room

Task: Review and repair by Plumber

Time: Before subject removal

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO	APPENDIX								



81. Leak

37. Condition: • Corroded copper pipe

Implication(s): Chance of water damage to structure, finishes and contents

Location: Basement Utility Room

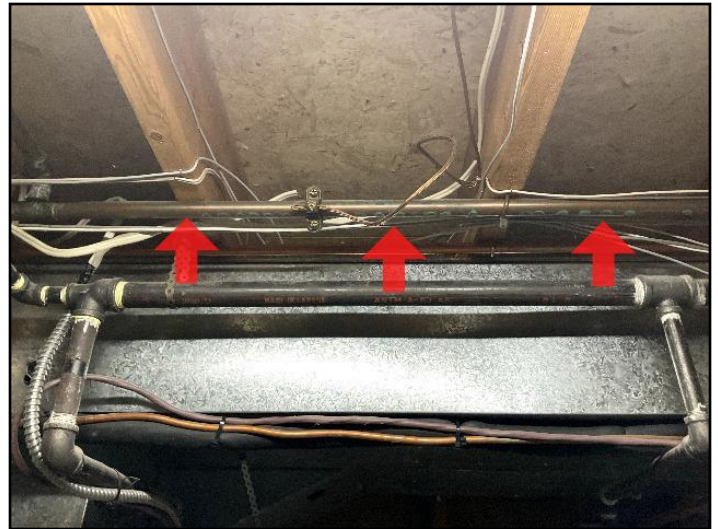
Task: Review and repair by Plumber

Time: Upon possession

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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82. Corroded copper pipe



83. Corroded copper pipe

FIXTURES AND FAUCETS \ Faucet

38. Condition: • Loose

Fixtures are loose and can potentially fail and leak if not addressed.

Implication(s): Equipment failure / potential water leak

Location: Basement Bathroom

Task: Improve - Repair

Time: Upon possession



84. Loose taps and faucet

FIXTURES AND FAUCETS \ Shower stall

39. Condition: • [Caulking loose, missing or deteriorated](#)

Caulking detail required in both upper and basement bathrooms.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Master Bathroom & Basement Bathroom

Task: Reseal all seams and joins exposed to water

Time: Upon possession

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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85. Caulking loose, missing or deteriorated



86. Caulking loose, missing or deteriorated



87. Caulking loose, missing or deteriorated

FIXTURES AND FAUCETS \ Toilet

40. Condition: • There is a hole drilled in wall near toilet water line. Ask seller history and why this hole was drilled.

Implication(s): Possible pipe freeze history.

Location: Basement Bathroom

Task: Request disclosure

Time: Before subject removal



88. *Hole drilled near pipe on wall*

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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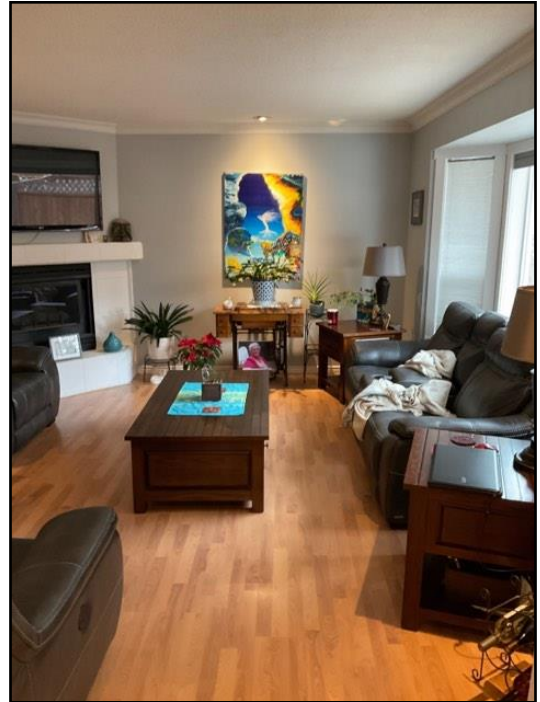
Description

General:

- Interior Pictures



89. Dining Room



90. Living Room



91. Bedroom 1



92. Bedroom 2

INTERIOR

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93. Main Bathroom



94. Master Bedroom



95. Basement Bathroom



96. Lower living room

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97. Basement room



98. Utility room

Major floor finishes: • [Laminate](#) • Tile

Major wall and ceiling finishes: • [Plaster/drywall](#)

Windows: • [Fixed](#) • [Sliders](#)

Glazing: • [Double](#)

Exterior doors - type/material: • Metal-clad

Appliances: • Refrigerator • Dishwasher • Microwave/Exhaust Fan Combo • Range

Laundry facilities: • Washer • Dryer

Kitchen ventilation: • Discharges to exterior

Bathroom ventilation: • Exhaust fan

Laundry room ventilation: • Clothes dryer vented to exterior

Counters and cabinets: • Inspected

Stairs and railings: • Inspected

Limitations

Inspection limited/prevented by:

- Storage in closets and cabinets / cupboards



99. Storage

Restricted access to:

- Garage

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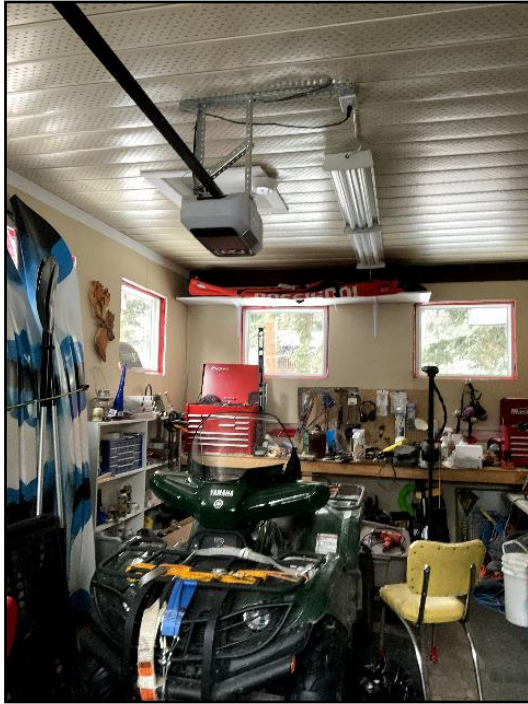
INSULATION

PLUMBING

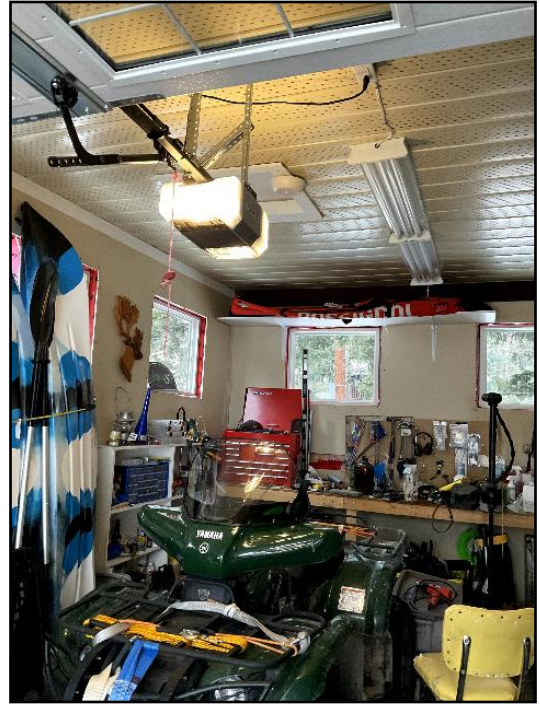
INTERIOR

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100. Garage



101. Garage



102. Garage

Not included as part of a building inspection: • Appliances • Aesthetics or quality of finishes • Vermin, including wood destroying organisms. • Underground components (e.g., oil tanks, septic fields, underground drainage systems) • Paint, wallpaper, and other finishes

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Percent of foundation not visible: • 75 %

Basement leakage: • Cannot predict how often or how badly basement will leak • Storage in basement limited inspection

Recommendations

RECOMMENDATIONS \ General

41. Condition: • [Asbestos / Hazardous Materials](#)

Homes built up until the early 1990's may contain materials that are now considered hazardous such as asbestos and lead paint. Given the age of this house these materials may potentially exist throughout. We are required as home inspectors to inform you of this information and recommend that you review WorkSafe BC's rules and regulations prior to renovating the property. Remediation can be costly.

Suspected asbestos containing materials were observed during inspection.

Implication(s): Health issues - Remediation is expensive.

Location: Throughout house

Task: Further evaluation

Time: Discretionary

WALLS \ Plaster or drywall

42. Condition: • Various holes were found in walls of basement that should be patched and sealed. There appears to be cloth stuffed into 2 of the holes possibly to prevent cold air from coming into room.

Implication(s): Possible drafts and vermin entering room

Location: Throughout Basement

Task: Repair holes

Time: Upon possession

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103. Hole in wall



104. Hole in wall



105. Hole in wall

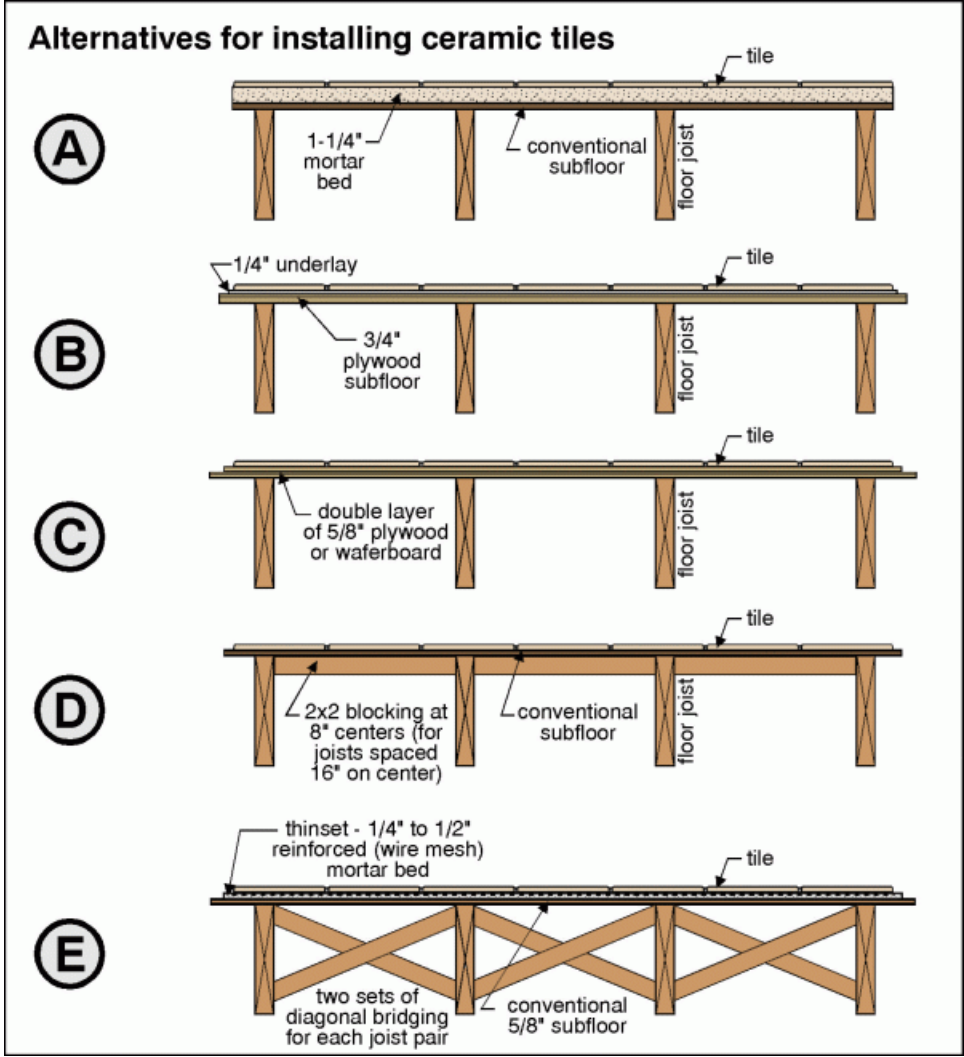
FLOORS \ Ceramic tile, stone, marble, etc

43. Condition: • Grout loose

Implication(s): Tiles may become damaged and become a trip or fall hazard

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Location: Kitchen
Task: Repair
Time: Upon possession



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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106. Grout loose



107. Grout loose

DOORS \ Doors and frames

44. Condition: • Loose hinges

The door leading to basement has a loose hinge.

Implication(s): Chance of door falling off

Location: Second Floor Basement

Task: Repair

Time: Upon possession

INTERIOR

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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108. Loose or poor fit



109. Loose or poor fit

STAIRS \ Landings

45. Condition: • [Missing](#)

No landing outside of basement entrance door.

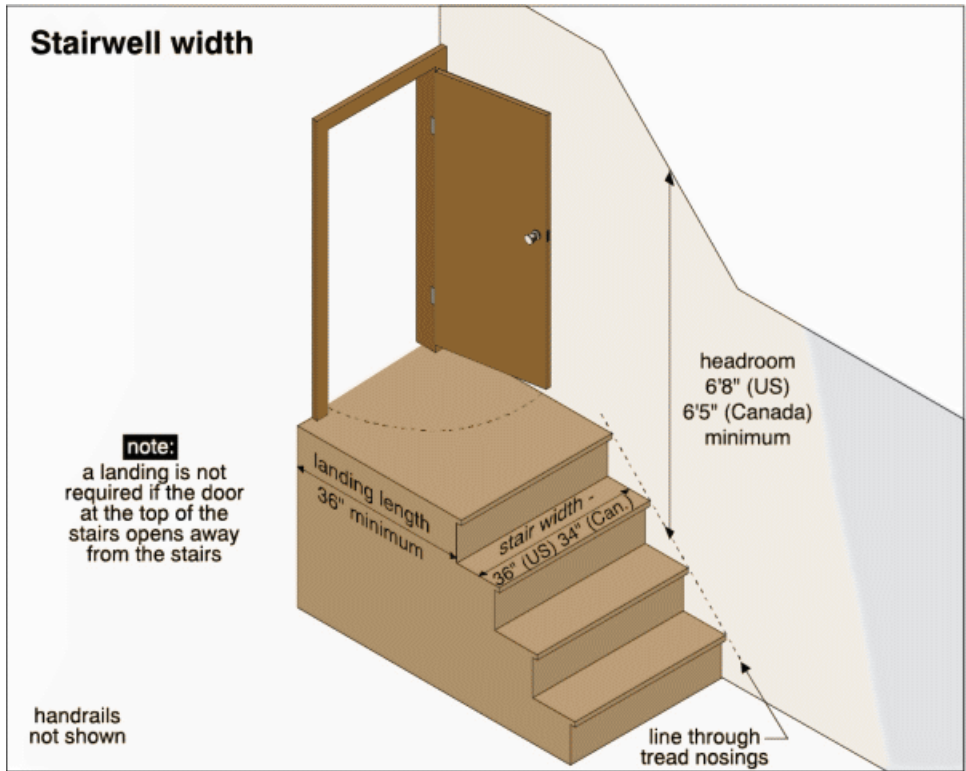
Implication(s): Trip or fall hazard

Location: Second Floor Hallway

Task: Use caution

Time: Ongoing

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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110. Missing landing

BASEMENT \ Wet basement - evidence

46. Condition: • [Efflorescence](#)

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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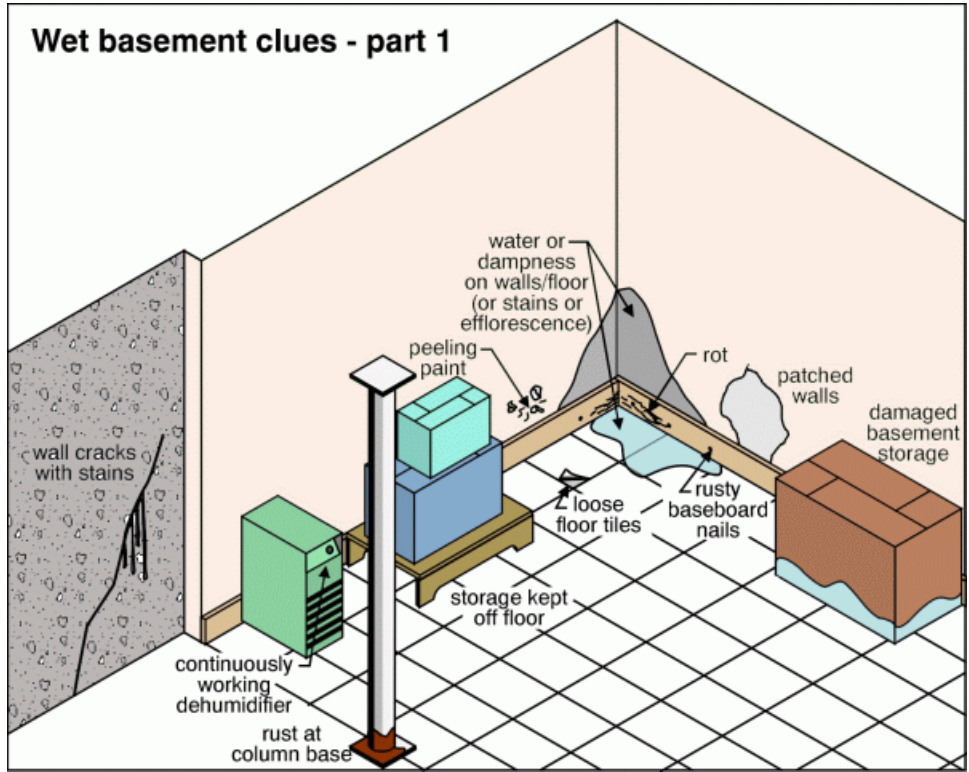
The left front corner of basement is moist and has efflorescence showing that water is active on outside of concrete foundation. The outside area should be investigated and all water sources should be directed away from house to prevent undermining and frost heave.

Implication(s): Chance of water damage to structure, finishes and contents

Location: Basement

Task: Further evaluation

Time: Upon possession

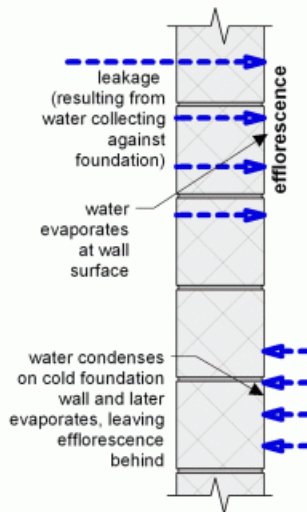


Basement leakage clues - efflorescence

efflorescence is a powdery, white substance that appears when water with dissolved minerals evaporates



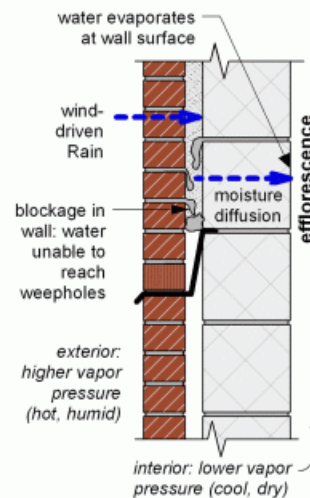
efflorescence may form because of water on the surface of the wall, either from leaks or from condensation, for example:



efflorescence may also form because of moisture diffusion through a wall

concrete and clay are not water-tight

for example:



111. Efflorescence

GARAGE \ Floor

47. Condition: • Garage drainage on this house is very important to manage and maintain as the front yard and driveway

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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slopes towards building.

Implication(s): Water leaks may damage contents, materials and structure and create mould.

Location: Garage

Task: Monitor and maintain drainage at front of house and garage.

Time: Regular maintenance & ongoing



112.

GARAGE \ Door between garage and living space

48. Condition: • [No self closer](#)

Garage doors should always have self closing hinges.

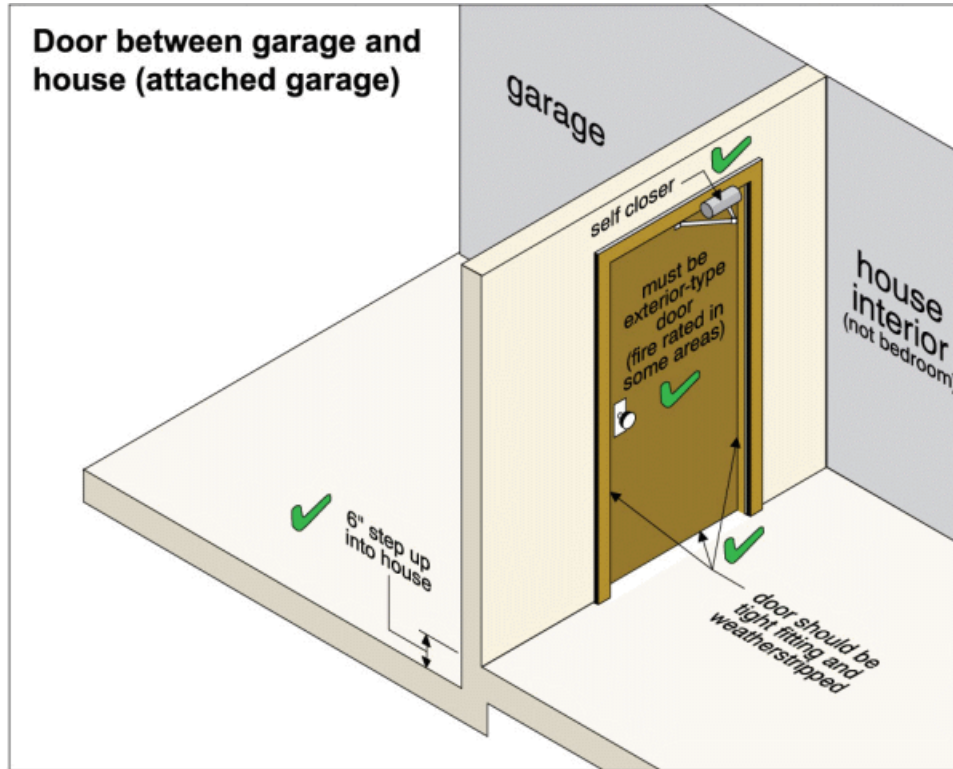
Implication(s): Hazardous combustion products entering home

Location: Garage

Task: Improve

Time: Upon possession or before parking vehicle inside.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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113. No self closer

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Description

General: • Comments are based on visual observations of site elements primarily focused on the potential impact to the main house structure. Comments (if present) made on fencing , lawns, vegetation, landscaping, or other features that do not directly impact the main structure are a courtesy only.

Utilities: • All utilities were on during the inspection.

Approximate age of home: • 30 to 35 years

Approximate date of construction: • 1988

Building type: • Detached home

END OF REPORT

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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HOME INSPECTORS ASSOCIATION BC

SCOPE OF INSPECTION

The purpose of this Scope of Inspection is to establish a minimum, uniform standard for Home Inspectors Association BC home and property inspector members.

This Scope of Inspection of home inspection identifies the range of services and activities that the licensed members of this profession are educated and legally required to provide. The document describes the professional activities and areas of professional practice. The Scope of Inspection defines the minimum standard of practice for all HIA home inspections in British Columbia. The scope of work of an individual home inspector must meet the requirements outlined in this document but may include additional inspection services where the home inspector is qualified and / or has special knowledge. The scope of the home inspector's review of a home is a contractual matter, therefore, any additional services provided to the client beyond the Scope of Inspection, must be communicated through a contractual agreement with the client.

The working premise of this document is that licensed home inspectors will demonstrate minimum, entry level competencies and will conduct their work competently in a variety of home inspection environments. The practice requirements represent the expectations of a "typical" not an "expert" home inspector. A specialist may be hired to provide additional analysis and opinion of adverse conditions or defects identified, beyond this Scope of Inspection.

A home inspection is a limited, non-invasive, visual examination of the current condition of a residential building. A home inspection is designed to report observed deficiencies within specific systems and components of a home. A home inspection provides a description of the condition of the home based on observation of the visible and apparent condition of the structure and components at the time of the home inspection. A home inspection does not guarantee future condition, efficiency, or life expectancy of systems or components. It is not an inspection to verify compliance with any applicable building codes, municipal bylaws or other regulations. A home inspection will not reveal every problem that exists or could ever exist and is not a technically exhaustive inspection.

HOME INSPECTORS ASSOCIATION BC

CODE OF ETHICS

Honesty, justice, and courtesy form a moral philosophy which, associated with mutual interest among people, constitutes the foundation of ethics. The members should recognize such a standard, not in passive observance, but as a set of dynamic principles guiding their conduct. It is their duty to practice the profession according to this code of ethics.

As the keystone of professional conduct is integrity, the Members will discharge their duties with fidelity to the public, their clients, and with fairness and impartiality to all. They should uphold the honor and dignity of their profession and avoid association with any enterprise of questionable character, or apparent conflict of interest.

1. The member will express an opinion only when it is based on practical experience and honest conviction.
2. The member will always act in good faith toward each client.
3. The member will not disclose any information concerning the results of the inspection without the approval of the clients or their representatives.
4. The member will not accept compensation, financial or otherwise, from more than one interested party for the same service without the consent of all interested parties.
5. Inspectors shall avoid conflicts of interest or activities that compromise, or appear to compromise, professional independence, objectivity, or inspection integrity.
6. Home inspectors shall not, directly or indirectly compensate, provide or receive a thing of value, inducement or reward:
 - a. to realtors, brokers or other parties having a financial vested interest in the closing or settlement of real estate transactions,
 - b. for the referral of any business to the inspector or the inspection company, or for inclusion on a list of recommended inspectors, preferred providers, or similar arrangements.
7. Members will not use or disclose personal information about clients, home owners, occupants, or the identity of the inspected property or its contents for purposes other than those for which it was collected:
 - a. except with the informed consent of the client, home owner, occupant, or any other person involved in the home inspection, or with the informed consent of all parties affected by the information, or as required by law.
8. The inspection work may not be used as a vehicle by the inspector to deliberately obtain work in another field.
9. An inspector shall make every effort to uphold, maintain, and improve the professional integrity, reputation, and practice of the home inspection profession. He or she will report all such relevant information, including violations of this Code by other members, to the Association for possible remedial action.
10. No member shall be actively engaged as a broker or agent in the sale or purchase of real estate.
11. The Inspectors shall not repair any condition found during an inspection or give cost estimates.
12. Members shall always be objective in their reporting and not knowingly overstate or understate the significance of observed conditions.

Use of this HIABC Scope of Inspection does not guarantee that the Inspector is a member of Home Inspectors Association BC. To confirm membership, visit www.hiabc.ca

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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HOME INSPECTORS ASSOCIATION

SCOPE OF INSPECTION

Introduction

The Home Inspectors Association BC is a not-for-profit professional society established in 1991. Membership in the Home Inspectors Association is voluntary and its members include private, fee-paid home inspectors. The Home Inspectors Association objectives include promotion of excellence within the profession and continual improvement of its members' inspection services to the public.

A **home inspector** shall inspect readily accessible, visually **Observable, installed systems and components** of a residential building using **typical fixed operational controls** and **report** identifiable **deficiencies** of specific **systems and components** therein including:

1. Exterior Systems
2. Roofing, Flashings, Penetrations and Chimneys
3. Structural Systems
4. Plumbing Systems
5. Electrical Systems
6. Interior components
7. Heating, Ventilation and Cooling (HVAC) Systems
8. Fireplaces and Solid Fuel Burning Appliances
9. Insulation and Ventilation of Attics, Crawlspace and Unfinished Basements

Home Inspection Report

Inspections shall be accompanied by a documented report that:

1. Describes readily accessible systems and components of a residential building and their condition.
2. Makes recommendations on significant deficiencies identified for each system or component that is included in the inspection
3. Provides information regarding potential impact if the issues are not addressed
4. And includes anything else that is made part of the inspection in accordance with this Scope of Inspection and a home inspection contract

General Home Inspection Inclusions (applicable to all components)

Home inspectors are required to:

1. Inspect readily accessible, visually observable, installed systems & components of residential buildings using typical fixed operational controls
2. Describe and report systems or components with significant deficiencies or damage including, but not limited to, inadequate performance, missing components, decay, rot, water issues, or other home inspection concerns.
3. Describe and report deficiencies that are evident by means of sight, touch, smell and hearing
4. Describe and report items that pose an imminent health or safety concern in the opinion of the home inspector
5. Describe and report items for which a representative sample was inspected, including a description of the sampling process
6. Describe and report the rationale for exclusion and limitation to the inspection of any system, component, procedure or method included in this Scope of Inspection
7. Recommend further evaluation or investigation by a Qualified Professional where:
 - a. conditions are identified that may constitute a hazard to occupants
 - b. conditions and systems and components exceed the collective knowledge and training of the home inspector in the opinion of the home inspector
8. Include in the report, documentation of evidence, such as supporting images (such as photographs or sketches) to provide information regarding observed deficiencies, where deemed appropriate by the home inspector
9. Produce the report in writing.
10. Include in the report the significant components that appear to be at or near the end of their normally expected service life.

General Home Inspection Exclusions (applicable to all components)

Home inspectors are **NOT** required to:

1. Predict the probability of failure or remaining service life of any system or component or offer any warranty, guarantee or certifications for any system or component
2. Describe the compliance with regulatory requirements (codes, regulations, laws, ordinances, etc.)
3. Estimate the cost for operation of a particular system or component and / or the cost of remediation of any identified conditions
4. Identify the cause(s) of observed conditions or deficiencies
5. Identify the methods, materials and cost(s) for correcting (repairing or replacing) observed conditions
6. Identify the condition of systems or components that are inaccessible, obstructed, hidden or contain latent defects
7. Identify the presence of any potential hazards including, but not limited to, asbestos, mould, PCB, infestations of vermin and wood destroying organisms, carcinogens, radon gas, lead paint, urea formaldehyde, toxic or flammable chemicals, noise, and contaminants in soil, water and air
8. Describe the adequacy, effectiveness, or efficiency of any system or component
9. Inspect common areas in multi-unit housing
10. Inspect systems and components that are not installed
11. Inspect decorative items
12. Operate any system or component that is shut down or that does not turn on with the use of typical fixed operational controls
13. Inspect underground items whether abandoned or active including, but not limited to, storage tanks and / or indications of their presence
14. Offer any advice regarding the purchase of the property
15. Enter an area or perform an inspection procedure or method in the opinion of the home inspector, could be dangerous to the home inspector or cause damage to the property or its systems or components, such as, but not limited to walking on roof surfaces, climbing ladders, entering attic spaces, etc.
16. Move items, contents, debris, soil, snow, ice or other equipment or dismantle any system or component that obstructs access or visibility for the home inspection
17. Review third-party reports including, but not limited to, depreciation reports and engineering reports
18. Identify and report any geological, geotechnical or hydrological conditions
19. Identify every problem that exists or could ever exist and report a technically exhaustive inspection

This Scope of Inspection is not required to limit inspectors from:

- A. Including other inspection services in addition to those required by this Scope of Inspection provided the inspector is appropriately qualified to do so.
- B. Excluding systems and components from the inspection if requested by the client or as dictated by circumstances at the time of the inspection.

The Home Inspectors Association Scope of Inspection applies to inspections of part or all of a building for the following building types:

1. single family dwelling, detached, semi-detached, or row house
2. multi-unit residential building
3. residential building held in divided or undivided co-ownership
4. residential building occupied in part for residential occupancy and in part for a commercial occupancy, as long as the latter use does not exceed 40% of the building's total area, excluding the basement.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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HOME INSPECTORS ASSOCIATION

1. EXTERIOR SYSTEMS

1.1 The inspector shall:

A. inspect:

1. exterior wall covering(s), flashing and trim.
2. all exterior doors.
3. attached or adjacent decks, balconies, steps, porches, and the associated railings.
4. the eaves, soffits, and fascias where accessible from the ground level.
5. vegetation, grading, surface drainage on the property when any of these are likely to adversely affect the building.
6. walkways, patios, and driveways leading to dwelling entrances.
7. landscaping structure attached or adjacent to the building when likely to adversely affect the building.
8. primary garage or carport attached or detached.
9. garage doors and garage door operators.

B. describe

1. exterior wall covering(s).

C. report:

1. the method(s) used to inspect the exterior wall elevations.

1.2 The inspector is NOT required to:

A. inspect:

1. screening, shutters, awnings, and similar seasonal accessories.
2. fences.
3. geological, geotechnical or hydrological conditions.
4. recreational facilities.
5. outbuildings.
6. seawalls, break-walls, dykes and docks.
7. erosion control and earth stabilization measures.

2. ROOF SYSTEMS

2.1 The inspector shall:

A. inspect:

1. readily accessible roof coverings.
2. readily accessible roof drainage systems.
3. readily accessible flashings.
4. readily accessible skylights, chimneys, and roof penetrations.

B. describe

1. the roof covering and report the method(s) used to inspect the roof

C. report

1. the method(s) used to inspect the roof(s).

2.2 The inspector is NOT required to:

A. inspect:

1. antennae and satellite dishes.
2. interiors of flues or chimneys which are not readily accessible.
3. other installed accessories. items attached to but not related to the roof system(s).

3. STRUCTURAL SYSTEMS

3.1 The inspector shall:

A. inspect:

1. structural components including visible foundation and framing.
2. by probing a sample of structural components where deterioration is suspected or where clear indications of possible deterioration exist. Probing is NOT required when probing would damage any finished surface or where no deterioration is visible.

B. describe:

1. foundation(s)
2. floor structure(s).
3. wall structure(s).
4. ceiling structure(s).
5. roof structure(s).

C. report:

1. on conditions limiting access to structural components.
2. methods used to inspect the under-floor crawl space.
3. methods used to inspect the attic(s).

3.2 The inspector is NOT required to:

A. provide any engineering service or architectural service.

B. offer an opinion as to the adequacy of any structural system or component.

4. PLUMBING SYSTEMS

4.1 The inspector shall:

A. inspect:

1. interior water supply and distribution systems including all fixtures and faucets.
2. drain, waste and vent systems including all fixture
3. water heating equipment and associated venting systems, flues & chimneys.
4. fuel storage and fuel distribution systems.
5. drainage sumps, sump pumps, and related piping.

B. describe:

1. water supply, distribution, drain, waste, and vent piping materials.
2. water heating equipment including the energy source.
3. location of main water and main fuel shut-off valves.

4.2 The inspector is NOT required to:

A. inspect:

1. clothes washing machine connections.
2. the interiors of flues or chimneys which are not readily accessible
3. wells, well pumps, or water storage related equipment.
4. water conditioning systems.
5. solar water heating systems.
6. fire and lawn sprinkler systems.
7. private waste disposal systems.

B. determine:

1. whether water supply and waste disposal systems are public or private.
2. the quantity or quality of the water supply.

C. operate:

1. safety valves or shut-off valves.

5. ELECTRICAL SYSTEMS

5.1 The inspector shall:

A. inspect:

1. service drop.
2. service entrance conductors, cables, and raceways.
3. service equipment and main disconnects.
4. service grounding.
5. interior components of service panels and sub panels.
6. distribution conductors.
7. overcurrent protection devices.
8. a representative number of installed lighting fixtures, switches, and receptacles.
9. the ground fault circuit interrupters (GFCI) (if appropriate).
10. arc fault circuit interrupters (AFCI) (if appropriate).

B. describe:

1. amperage and voltage rating of the service.
2. location of main disconnect(s) and subpanel(s).
3. wiring methods.

C. report:

1. presence of solid conductor aluminum branch circuit wiring.
2. absence of carbon monoxide detectors (if applicable).
3. absence of smoke detectors.
4. presence of ground fault circuit interrupters (GFCI).
5. presence of arc fault circuit interrupters (AFCI).

5.2 The inspector is NOT required to:

A. inspect

1. remote control devices unless the device is the only control device.
2. alarm systems and components.
3. low voltage wiring, systems and components.
4. ancillary wiring, systems and components not a part of the primary electrical power distribution system.
5. telecommunication equipment.

B. measure:

1. amperage, voltage, or impedance.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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6. INTERIOR

6.1 The inspector shall:

A.inspect:

1. walls, ceilings, and floors.
2. steps, stairways, and railings.
3. countertops and a representative number of installed cabinets.
4. a representative number of doors and windows.
5. walls, doors and ceiling separating the habitable spaces and the garage.

B.describe:

1. materials used for walls, ceilings and floors.
2. doors.
3. windows.

C.report:

1. absence or ineffectiveness of guards and handrails or other potentially physical injury hazards.

6.2 The inspector is NOT required to:

A.inspect:

1. paint, wallpaper, and other finish treatments.
2. carpeting.
3. window treatments.
4. central vacuum systems.
5. household appliances.
6. recreational facilities.

7. HEATING, VENTILATION & COOLING (HVAC) SYSTEMS

7.1 The inspector shall:

A. inspect:

1. readily accessible components of installed heating, central and through wall cooling equipment.
2. vent systems, flues, and chimneys.
3. fuel storage and fuel distribution systems.

B. describe:

1. energy source(s).
2. heating and/or cooling method(s) by distinguishing characteristics.
3. chimney(s) and/or venting material(s).
4. the combustion air sources.
5. the exhaust venting methods (naturally aspirated, induced draft, direct vent, direct vent sealed combustion).

7.2 The inspector is NOT required to:

A. inspect:

1. interiors of flues or chimneys which are not readily accessible.
2. heat exchanger.
3. humidifier or dehumidifier auxiliary equipment.
4. electronic air filters.
5. solar heating systems.

B. determine:

1. system adequacy or distribution balance.

8. FIREPLACES AND SOLID FUEL BURNING APPLIANCES

(Unless prohibited by the authority having jurisdiction)

8.1 The inspector shall:

A. inspect:

1. system components
2. vent systems and chimneys

B. describe:

1. fireplaces and solid fuel burning appliances
2. chimneys

8.2 The inspector is NOT required to:

A. inspect:

1. interior of flues or chimneys
2. screens, doors and dampers
3. seals and gaskets
4. automatic fuel feed devices
5. heat distribution assists whether fan assisted or gravity

B. ignite or extinguish fires

C. determine draught characteristics

D. move fireplace inserts, stoves, or firebox contents

9. INSULATION and VENTILATION of ATTICS, CRAWLSPACES AND UNFINISHED BASEMENTS

9.1 The inspector shall:

A.inspect:

- 1.insulation and vapor retarders in unfinished spaces.
- 2.ventilation of attics and foundation areas.
- 3.mechanical ventilation systems.
- 4.ventilation systems in areas such as kitchens, bathrooms and laundry areas where moisture is generated.

B.describe:

- 1.type of insulation and vapour retarders in unfinished spaces.
- 2.ventilation of attics and foundation areas.
- 3.mechanical ventilation systems.
- 4.ventilation systems in areas such as kitchens, bathrooms and laundry areas where moisture is generated.

C.report:

- 1.absence of insulation in unfinished spaces at conditioned surfaces.
- 2.absence of ventilation in areas where moisture is generated such as kitchens, bathrooms and laundry rooms.

9.2 The inspector is NOT required to:

A.disturb insulation or vapor retarders.

B.determine indoor air quality.

C.determine system adequacy or distribution balance.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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HOME INSPECTORS ASSOCIATION

GLOSSARY

Adjacent

Nearest in space or position; immediately adjoining without intervening space.

Alarm Systems

Warning devices, installed or free-standing, including but not limited to; carbon monoxide detectors, flue gas and other spillage detectors, security equipment, ejector pumps and smoke alarms.

Architectural Service

Any practice involving the art and science of building design for construction of any structure or grouping of structures and the use of space within and surrounding the structures or the design for construction, including but not specifically limited to, schematic design, design development, preparation of construction contract documents, and administration of the construction contract, adequacy of design for the location and exposure to the elements.

Automatic Safety Controls

Devices designed and installed to protect systems and components from unsafe conditions.

Component

A part of a system.

Confined Spaces

An enclosed or partially enclosed area that:

1. Is occupied by people only for the purpose of completing work.
2. Has restricted entry/exit points.
3. Could be hazardous to people entering due to:
 - a. its design, construction, location or atmosphere.
 - b. the materials or substances in it, or
 - c. any other conditions which prevent normal inspection procedure.

Decorative

Ornamental; not required for the operation of the essential systems and components of a building.

Describe

To report a system or component by its type or other observed, significant characteristics to distinguish it from other systems or components.

Determine

To find out; or come to a conclusion by investigation.

Dismantle

To take apart or remove any component, device, or piece of equipment that would not be taken apart or removed by a homeowner in the course of normal and routine home owner maintenance.

Engineering Service

Any professional service or creative work requiring engineering education, training, and experience and the application of special knowledge of the mathematical, physical and engineering sciences to such professional service or creative work as consultation, investigation, evaluation, planning, design and supervision of construction for the purpose of assuring compliance with the specifications and design, in conjunction with structures, buildings, machines, equipment, works or processes.

Functionality

The purpose that something is designed or expected to fulfill.

Further Evaluation

Examination and analysis by a qualified professional, tradesman or service technician beyond that provided by the home inspection.

Home Inspection

The process by which an inspector visually examines the readily accessible systems and components of a building and which describes those systems and components in accordance with this Scope of Inspection.

Household Appliances

Kitchen, laundry, and similar appliances, whether installed or freestanding.

Inspect

To examine readily accessible systems and components of a building in accordance with these Scope of Inspection, where applicable using normal operating controls and opening readily openable access panels.

Inspector

A person hired to examine any system or component of a building in accordance with this Scope of Inspection.

Installed

Set up or fixed in position for current use or service.

Monitor

Examine at regular intervals to detect evidence of change.

Normal Operating Controls

Devices such as thermostats, switches or valves intended to be operated by the homeowner.

Operate

To cause to function, turn on, to control the function of a machine, process, or system.

Probing

Examine by touch.

Readily Accessible

Available for visual inspection without requiring moving of personal property, dismantling, destructive measures, or any action which will likely involve risk to persons or property.

Readily Openable Access Panel

A panel provided for homeowner inspection and maintenance that is within normal reach, can be removed by one person, and is not sealed in place.

Recreational Facilities

Spas, saunas, steam baths, swimming pools, exercise, entertainment, athletic, playground or other similar equipment and associated accessories.

Report

To communicate in writing.

Representative Number

One component per room for multiple similar interior components such as windows and electric outlets; one component on each side of the building for multiple similar exterior components.

Roof Drainage Systems

Components used to carry water off a roof and away from a building.

Sample

A representative portion selected for inspection.

Service Life/Lives

The period during which something continues to function fully as intended.

Significant Deficiency

A clearly definable hazard or a clearly definable potential for failure or is unsafe or not functioning.

Shut Down

A state in which a system or component cannot be operated by normal operating controls.

Solid Fuel Burning Appliances

A hearth and fire chamber or similar prepared place in which a fire may be built and which is built in conjunction with a chimney; or a listed assembly of a fire chamber, its chimney and related factory-made parts designed for unit assembly without requiring field construction.

Structural Component

A component that supports non-variable forces or weights (dead loads) and variable forces or weights (live loads).

System

A combination of interacting or interdependent components, assembled to carry out one or more functions.

Technically Exhaustive

An inspection is technically exhaustive when it is done by a specialist who may make extensive use of measurements, instruments, testing, calculations, and other means to develop scientific or engineering findings, conclusions, and recommendations.

Under-floor Crawl Space

The area within the confines of the foundation and between the ground and the underside of the floor.

Unsafe

A condition in a readily accessible, installed system or component which is judged to be a significant risk of personal injury during normal, day-to-day use. The risk may be due to damage, deterioration, missing or improper installation.

Vapour Barrier

Material used in the building envelope to retard the passage of water vapour or moisture.

Visually Accessible

Able to be viewed by reaching or entering.

Wiring Methods

Identification of electrical conductors or wires by their general type, such as "non-metallic sheathed cable" ("Romex"), "armored cable" ("bx") or "knob and tube", etc.

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